

A G E N D A
DESIGN REVIEW COMMITTEE

<i>City Hall Council Chambers 1095 Duane Street, Astoria</i>
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Thursday, May 1, 2014 at 5:30 p.m.

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
 - a. March 6, 2014
4. PUBLIC HEARINGS
 - a. Design Review DR14-03 by Patrick McGee Designs for John Ryan to construct a 3 story, approximately 3,982 square foot single family residence at 2495 Mill Pond Lane within the Gateway Area in the AH-MP, Attached Housing-Mill Pond zone. Staff recommends approval of the request with conditions.
5. REPORT OF OFFICERS
6. ADJOURNMENT

DESIGN REVIEW COMMITTEE

Astoria City Hall

March 6, 2014

CALL TO ORDER:

President Rickenbach called the meeting to order at 5:30 p.m.

ELECTION OF OFFICERS – ITEM 2(a):

This item was addressed immediately following Item 5: Public Hearings.

In accordance with Sections 1.110 and 1.115 of the Astoria Development Code, the Astoria Design Review Committee needs to elect officers for 2014. The 2013 officers were President Jared Rickenbach, Vice President LJ Gunderson, and Secretary Sherri Williams.

President Rickenbach moved to re-elect Sherri Williams as the Astoria Design Review Committee Secretary for 2014; seconded by Vice-President Gunderson. Motion passed unanimously.

Vice-President Gunderson moved to re-elect Jared Rickenbach as the Astoria Design Review Committee President for 2014; seconded by Commissioner Tuter Motion passed unanimously. Ayes: Vice-President Gunderson, Commissioners Tuter and Andrew. Nays: None. Abstentions: Jared Rickenbach

President Rickenbach moved to re-elect LJ Gunderson as Vice-President for Astoria Design Review Committee 2014; seconded by Commissioner Andrew. Motion passed unanimously. Ayes: President Rickenbach, Commissioners Tuter and Andrew. Nays: None. Abstentions: LJ Gunderson

Planner Johnson introduced new Committee member Derith Andrew from Clatsop Community Bank, noting Derith serves on the Astoria Downtown Historic District Association (ADHDA) Board.

ROLL CALL – ITEM 3:

Commissioners Present: Jared Rickenbach, LJ Gunderson, Derith Andrew, Paul Tuter, One Vacancy

Staff Present: Community Development Director / Assistant City Manager Brett Estes and Planner Rosemary Johnson

APPROVAL OF MINUTES – ITEM 4(a):

President Rickenbach called for approval of the minutes of the December 5, 2013 meeting. Vice-President Gunderson moved to approve the December 5, 2013 minutes as presented; seconded by Commissioner Tuter. Motion passed 4 - 0 - 1. Ayes: President Rickenbach, Vice-President Gunderson, Commissioners Tuter, and Jablonski. Nays: None. Abstentions: Commissioner Andrew.

Director Estes announced that another application might be on the agenda for May 2014.

Commissioner Tuter asked if he needed to declare a conflict of interest because he sold house parts. Planner Johnson did not believe he needed to make a declaration unless the Applicant had discussed the project with him.

PUBLIC HEARINGS:

President Rickenbach explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were available from Staff.

ITEM 5(a):

DR14-01 Design Review DR14-01 by Patrick McGee for Donna and Tracy Black to construct an approximately 3,589 square foot single-family dwelling including garage at 2505 Mill Pond Lane within the Gateway Area in the AH-MP, Attached Housing-Mill Pond zone.

President Rickenbach asked if anyone objected to the jurisdiction of the Design Review Committee to hear this matter at this time. There were no objections. President Rickenbach asked if any member of the Design Review Committee had any conflicts of interest or ex parte contacts to declare.

Commissioner Rickenbach declared that he is a general contractor, but has not been consulted on this project.

President Rickenbach called for a presentation of the Staff report.

Planner Johnson reviewed the Findings and Conditions contained in the Staff report. She noted an Addendum to the Staff report, which was made available at the dais, indicated the overall height of the structure had to be lowered by 1½ feet, so the Applicant lowered the pitch of the roof from the 8:12 to a 6:12 ratio, which still complies with design review guidelines. The height of the structure will be 35 feet from the ground to the ridge instead of 35½ feet. The other change from what was provided in the packet regarded the two doors on the west elevation. One door will have a larger glass piece and the other door will be a two-paneled door rather than a solid door. No correspondence has been received and Staff recommends approval with standard conditions. She clarified that the height of the building would be reduced by 1½ feet because the original measurements on the plans were from the floor level, not grade level.

President Rickenbach called for questions of Staff. Hearing none, he opened the public hearing and called for testimony from the Applicant.

Patrick McGee, 697 34th Street, Astoria, stated he would be happy to answer any questions. There were none.

President Rickenbach called for testimony in favor of, impartial, or opposed to the application. Hearing none, he confirmed there were no closing remarks from Staff and closed the public hearing. He called for Committee discussion and deliberation.

President Rickenbach commended the Applicant for submitting a thorough application and thanked Planner Johnson for her work.

Planner Johnson confirmed for Commissioner Andrew that the smaller door on the west elevation opened to the garage.

Vice-President Gunderson believed the home was beautiful. All of the guidelines have been followed and the homeowner's association did not appear to have any issues.

Craig Williams, 255 29th Street, Astoria, stated the homeowner's association was fine with the project. The association is working with the Applicant to finalize a few details, like doggy doors, but nothing that affects the structure of the house.

Vice-President Gunderson moved that the Astoria Design Review Committee adopt the Findings and Conclusions stated in the Staff report with the following changes:

Page 2, Proposed Construction:, Roof: "Hip roof with front & rear portion gables, 6:12 pitch, ...";

Page 2, added diagram at bottom of page;

Page 3, Doors: "Therma-True; one door with upper lite and one solid panel door on 1st floor ...";

Page 4, D. Finding: "The structure reflects residential types found in the Uppertown area. It has an 6:12 pitch hip roof, ...";

Page 4, added diagram in center of page;

Page 6, Finding:, added large diagram in center of page;

Page 7, Paragraph 1, "Therma-True doors with one door with upper lite and one solid panel door on 1st floor west side; ..."

Page 7, changed photo in center to show new door;
Page 8, H. Finding:, Sentence 2, "The hip roof would be a 6:12 pitch."
Page 11, Q., Finding:, Sentence 1, "The structure measures approximately 35' in height, ..."
Page 11, Q., Finding:, Sentence 2, "... actual height of the building to relative this code is approximately 32'.",

and approve Design Review DR14-01 by Patrick McGee for Donna and Tracy Black, with the conditions as stated in the Staff report; seconded by Commissioner Andrew. Motion passed unanimously.

President Rickenbach read the rules of appeal into the record.

REPORTS OF OFFICERS/COMMISSIONERS – ITEM 6:

No reports.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 5:45 p.m.

ATTEST:

Secretary

APPROVED:

Community Development Director/
Assistant City Manager

STAFF REPORT AND FINDINGS OF FACT

April 21, 2014

TO: Design Review Committee

FROM: Rosemary Johnson, Planner



SUBJECT: Design Review Request (DR14-03) by Patrick McGee for John Ryan to construct a single-family dwelling at 2495 Mill Pond Lane

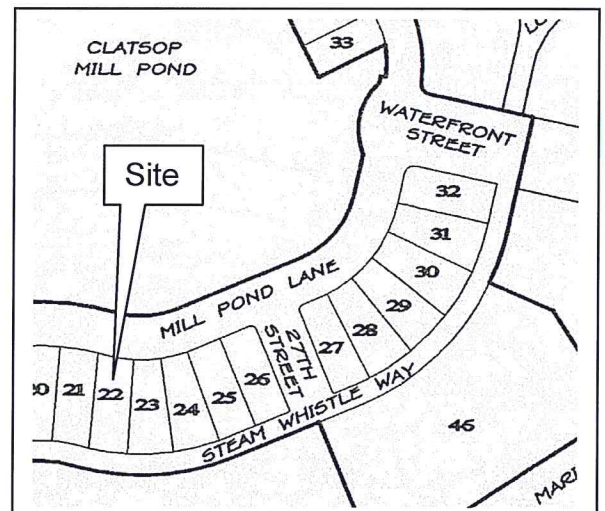
I. BACKGROUND SUMMARY

- A. Applicant: Patrick McGee
McGee Design
697 34th Street
Astoria OR 97103
- B. Owner: John Ryan
92401 Walluski Loop
Astoria OR 97103
- C. Location: 2495 Mill Pond Lane; Map T8N-R9W Section 9CB, Tax Lot 6845;
Lot 22, Mill Pond Village 2
- D. Zone: AH-MP (Attached Housing-Mill Pond)
- E. Proposal: To construct an approximate 3,982 square foot, 3 story, single-family dwelling with garage

II. BACKGROUND

Site:

The site is located on the south side of Mill Pond Lane west of 27th. Lot #22 is approximately 37' wide by 90' deep (3,200 square feet). The lot is bounded and also accessed on the south by Steam Whistle Way.



The Mill Pond Subdivision development was approved with special conditions concerning the required setbacks relative to Building Codes. The requirement is that one side could have a zero setback while the other side yard has a mandatory 6' setback with no encroachments. The plans show a 6' setback on the west elevation. The plans do not show any exterior mechanical equipment which would need to comply with the setback requirement.

Proposed Construction:

The applicant has submitted plans for review and approval of the design to the Mill Pond Village Architectural Review Committee. Their review is pending.

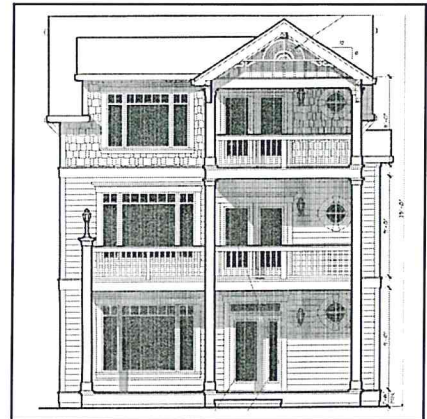
Style: 3 story, single family-dwelling with garage

Roof: Hip roof with side & front gables, 4.5:12 pitch on the hip and 5:12 pitch on the gables, with 1' eave overhang; multiple roof elevations/components; composition shingle, Sierra Gray

Siding: Horizontal, smooth fiber cement boards with 6" reveal on first and second floor, and fiber cement board and batten and shingles on third floor; 5.5" x 3/4" corner boards

Windows: Mostly vertical, large picture windows on front; vinyl, external muntins or true divided lites above front windows; mixture of casement and fixed; windows vary on each elevation

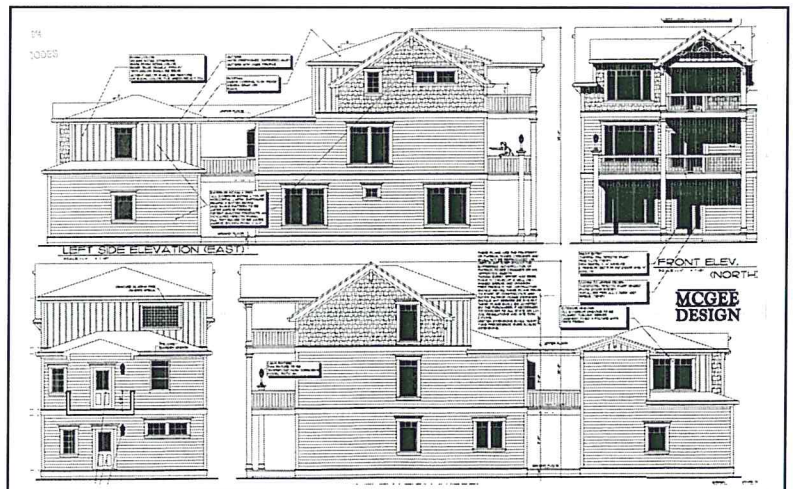
Front: large center, fixed, picture windows with simulated divided lites above with casement windows on either side of main window; round, four lite window on each floor



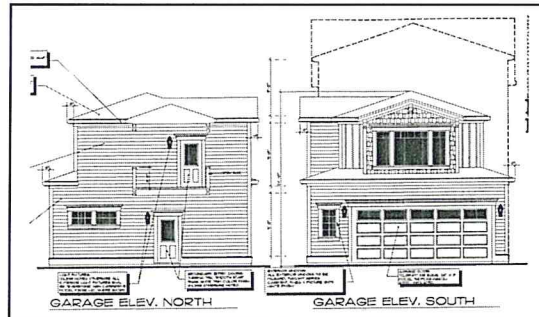
Right/West Side: 3/1 fixed windows on all three floors; paired 2/1 and 3/1 windows on 1st and 2nd floors

Left/East Side: paired 3/1 windows on 1st and 2nd floors; 3/1 windows on 1st and 2nd floor of rear garage; three multi-lite windows

Rear Main structure: three multi-lite windows on 1st and 2nd floor; multi-lite obscured glass window on 3rd floor; garden window on 2nd floor rear of main structure



Rear Garage: large center, fixed, picture windows with simulated divided lites above with casement windows on either side of main window on 2nd floor; multi-lite window on 1st floor; north facing portion of garage has paired, horizontal, multi-lite windows on 1st floor



Window and door exterior casings proposed to be 5.5" x 4/4" or larger and have lower sills and crown molding.

Doors: Therma-True; one door with upper and side lite on 1st floor front; double single lite French doors on front 2nd and 3rd floor porches; single lite panel door on rear 1st and 2nd floor and on north elevation of garage 1st and 2nd floor

Other Design Elements: corner boards of 5.5" x 3/4" or larger; belt course between floors; front covered porches on all three floors; support columns with crown and base for covered front porches; balustrade on 2nd and 3rd story front porches with upper and lower rails and vertical balusters; covered bridge on 2nd floor connecting main structure to garage 2nd floor; front gable end sunburst ornamentation; eave brackets

Garage: South, rear facing garage; door will be steel panel, overhead door with multi-lites above

Light Fixtures: Lights proposed on porches, at doors on rear and north elevation of garage; on both sides of garage door on rear; and on a pole on the front elevation. Everstone Lighting; proposed fixtures to have diffused lighting

III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on April 8, 2014. A notice of public hearing was published in the Daily Astorian on April 11, 2014. Any comments received will be made available at the Design Review Committee (DRC) meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 14.015(A) states that in addition to conformance with the specific uses and standards of the individual zones, the following zones shall conform to the

general regulations of the Gateway Overlay Zone in Sections 14.005 through 14.030. 1) Maritime Heritage; 2) Family Activities; 3) Attached Housing-Health Care; 4) Health Care; 5) Education/Research/ Health Care Campus; 6) Hospitality/Recreation; 7) Local Service; and 8) Attached Housing-Mill Pond.

Finding: The site of the proposed single-family dwelling is located in the Attached Housing-Mill Pond Zone (AH-MP) and shall conform to Sections 14.005 through 14.030 of the Development Code. This criteria is met.

- B. Section 14.015(B) requires that each public or private development proposal within the Gateway Overlay Zone will be reviewed for consistency with the Design Review Guidelines in Sections 14.020 through 14.030.

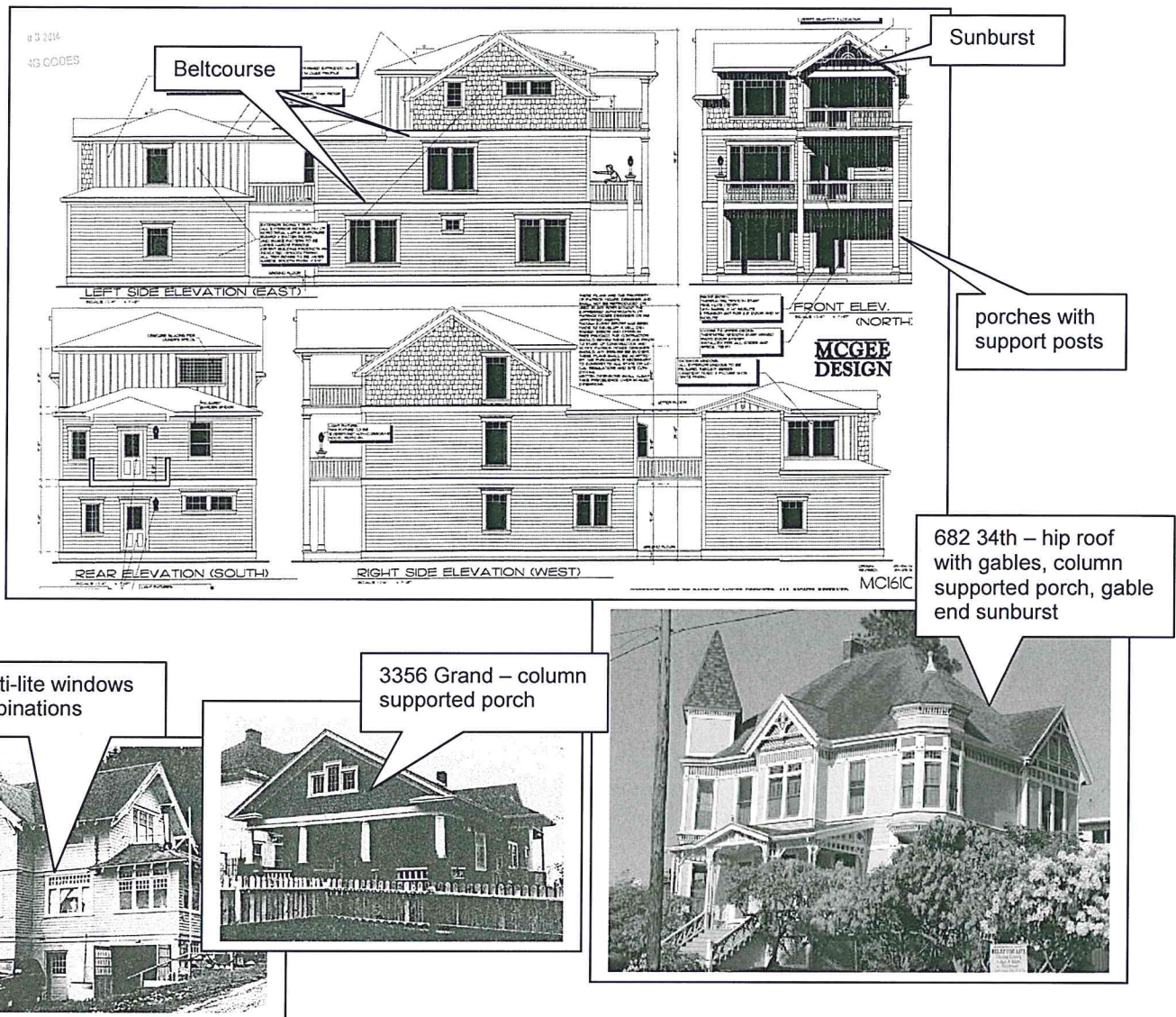
Finding: The proposed single-family dwelling is a private development to be constructed within the Gateway Overlay Zone and as such will be reviewed for consistency with the Design Review Guidelines. This criteria is met.

- C. Section 14.020 states that the Design Review Guidelines shall apply to all new construction or major renovation. The guidelines are intended to provide fundamental principles that will assist in the review of the proposed development. The principles identify both “encouraged” and “discouraged” architectural elements. They are broad design objectives and are not to be construed as prescriptive standards.

Finding: The structure is “new construction” and as such is subject to the Design Review Guidelines. This criteria is met.

- D. Section 14.025(A) describes the purpose of the Design Review Guidelines and states that the Gateway Plan encourages new construction to reflect building types found in the Uppertown area. Three historic building types commonly found in the area include waterfront industrial, commercial, and residential.

Finding: The structure reflects residential types found in the Uppertown area. It has a 4.5:12 pitch hip roof and 5:12 pitch gable roof, simulated multi-lite/1 windows, and front porch with column supported second and third story porches. The horizontal siding, shingle, and board and batten siding are typically found in Astoria. There are decorative belt courses between floors and corner boards and a gable end sunburst in the front gable. The rear elevation facing Steam Whistle Way has a garage door. These are features commonly found in Astoria. This guideline is met.



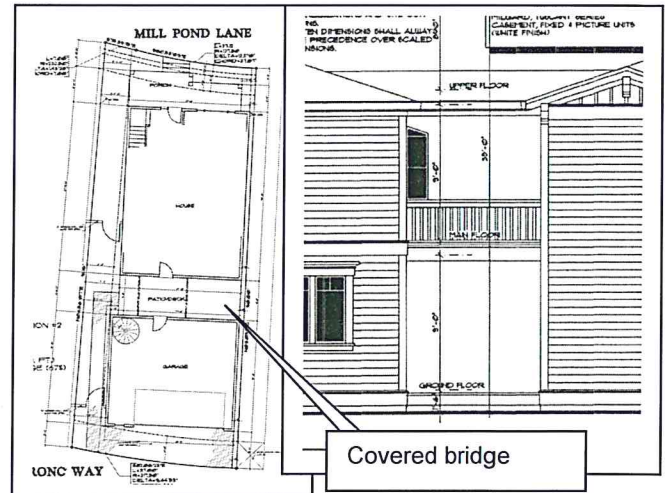
E. Section 14.025(B) identifies the building forms encouraged.

1. All Building Types: a) Simple designs without extraneous details; b) Rectangular in plan; c) Square in plan.
2. Waterfront Industrial: a) Low in form; b) Cubic in form.
3. Commercial: a) Low in form.
4. Residential: a) Vertical in form; b) Cubic in form; c) Full front porch or front porch large enough to accommodate several seated persons.

Section 14.025(C) identifies the building forms discouraged.

1. All Building Types: a) Complex building footprints; b) Sprawling structures.

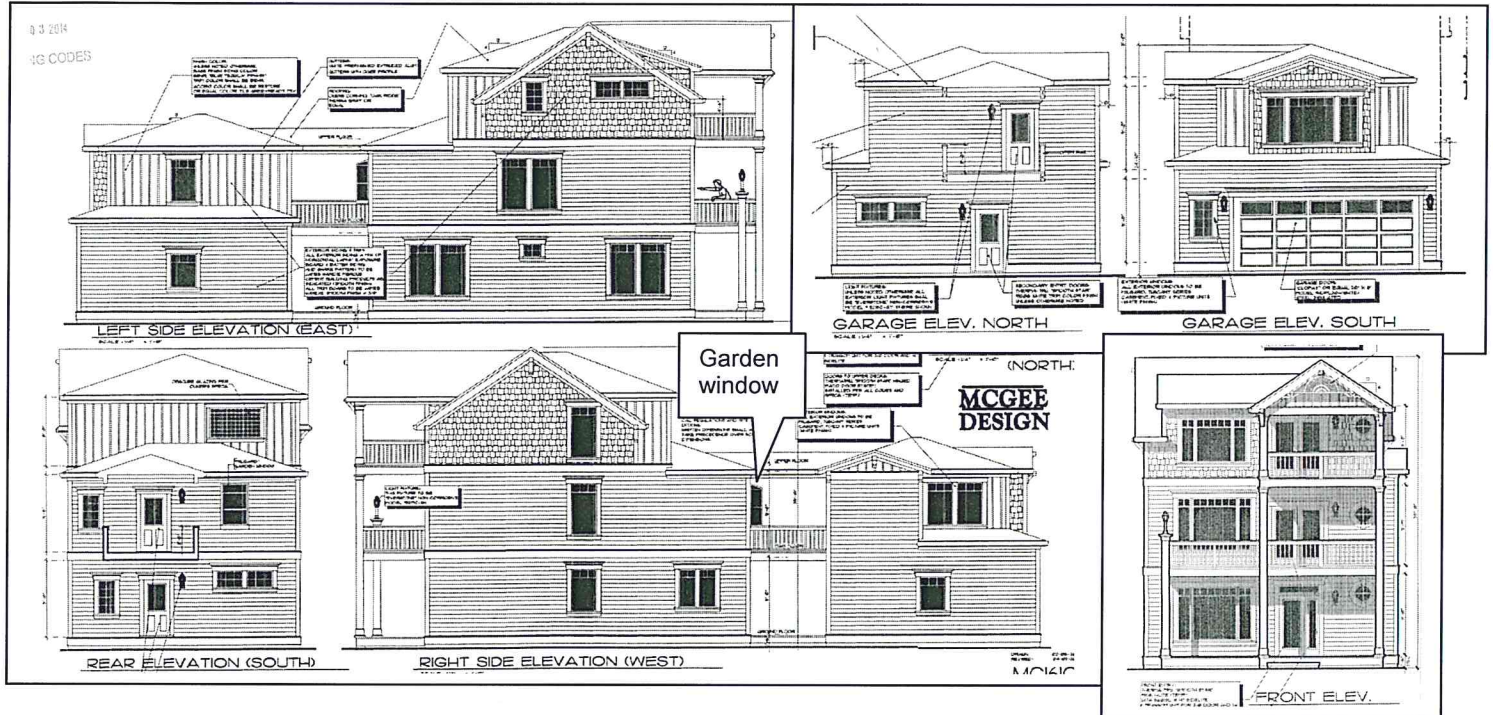
The west side elevation will have a 6' setback as required. No encroachments would be allowed into the required 6' setback (Condition 1).



1. All Building Types: a) True-divided, multiple-light windows; b) Single-light windows; c) Applied muntins with profile facing window exterior; d) Rectangular windows with vertical proportions; e) Fixed windows; f) Double or single-hung windows; g) Casement windows; h) Windows should be spaced and sized so that wall area is not exceeded by window area, with the exception of commercial storefronts.
2. Waterfront Industrial: a) Square or rectangular windows with multiple lights.
3. Commercial: a) Storefronts: 1) Plate glass windows with multiple-light transom windows above; 2) Recessed entries; 3) Window to wall surface proportions may be exceeded; b) Upper Stories: 1) Window area should not exceed wall area.
4. Residential: a) Vertical rectangle or square windows; b) Combination of single and multiple-light windows; c) Single windows, paired windows, or windows grouped in threes; d) Bay windows; e) Arched or decorative shaped windows used sparingly; f) Windows should use casings and crown moldings.

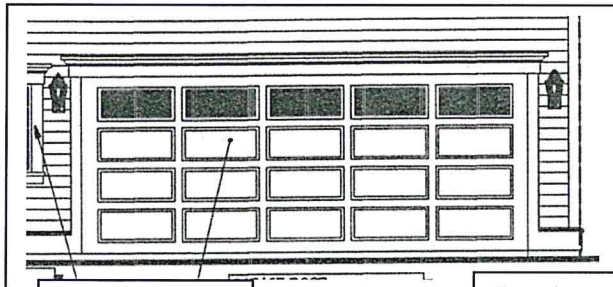
1. All Building Types: a) Applied muntins which have no profile; b) Smoked glass; c) Mirrored glass; d) Horizontal sliding windows; e) Walls predominated by large expanses of glass, except in commercial storefronts; f) Windowless walls. Large expanses of blank walls should only be located in areas which are not visible to the public; g) Aluminum frame windows, except in commercial storefronts.

Finding: All windows are vinyl and are fixed or casement. The windows are mostly rectangular and vertical, single and paired. There are two horizontal windows and one multi-lite horizontal window with obscure glazing on the rear elevation. Front porches have simulated multi-lite and large single lite windows and a four lite round window on each floor. All lites will need to be true divided or have external muntins. There is a garden window on the rear portion of the main structure. Windows should be inset from the plane of the facade (Condition 2). There are no blank walls.

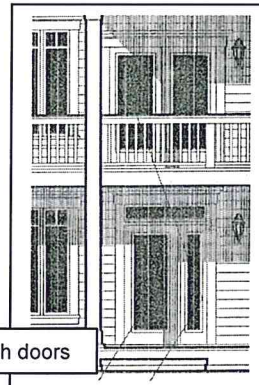


Window and door exterior casings proposed to be 5.5" x 3/4" or larger with crown and lower sill and shall protrude beyond the plane of the siding.

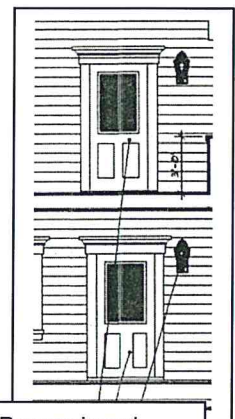
Therma-True doors with one door with upper and side lite on 1st floor front; double single lite French doors on front 2nd and 3rd floor porches; single lite panel door on rear 1st and 2nd floor and on north elevation of garage 1st and 2nd floor. Garage door will be steel panel, overhead door with multi-lites above.



Rear garage door



Front & upper porch doors



Rear main and garage structure doors

The window divisions are proposed to have exterior muntins. The front elevation has three large areas of windows of less than 50% of the facade. Window area does not exceed wall area. This guideline is met.

G. Section 14.025(F) identifies exterior wall treatments encouraged.

1. All Building Types: a) Drop siding; b) Weatherboard siding; c) Horizontal siding with six inches or less exposure.
2. Waterfront Industrial: a) Board and batten style; b) Galvanized corrugated metal.
3. Commercial: a) Finished concrete; b) Brick veneer.
4. Residential: a) Clapboard; b) Wood shingle (rectangular); c) Decorative wood shingle.

Section 14.025(G) identifies exterior wall treatments discouraged.

1. All Building Types: a) Exposed textured, concrete block; b) Flagstone or other applied stone products; c) Precast concrete or decorative concrete panels; d) Wood shakes; e) Plywood paneling.

Finding: The structure is proposed to be clad in horizontal fiber cement boards with 6" reveal on 1st and 2nd floors, fiber cement board and batten on the 2nd and 3rd floor and front gable end, and shingles on 3rd floor gable side and 2nd floor rear gable end. The exposure is encouraged to be 6" or less. Mill Pond Village Architectural Guidelines (MPVAG) require a maximum of 5.5" exposure, so the proposed exposure would need to be reviewed and approved by the MPVAG or reduced. Fiber cement siding shall be smooth, not textured. There would be 5.5" x 3/4" corner boards. In balance, this guideline is met.

H. Section 14.025(H) identifies the roof elements encouraged.

1. Waterfront Industrial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves; d) Small shed roof dormers; e) Monitor roof on ridge line; f) Flat panel skylights or roof window.
2. Commercial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves behind parapet wall; d) Flat or gable roof behind parapet wall; e) Structural skylights.
3. Residential: a) Steep gable with broad eaves; b) Steep hip with broad eaves; c) Dormers with gable, hip, or shed roofs; d) Flat panel skylights or roof window on secondary elevations; e) Turrets or large projecting window bays used sparingly.

Section 14.025 (I) identifies the roofing elements discouraged.

1. All Building Types: a) False mansard or other applied forms; b) Dome skylights.

Finding: Eaves including gutters are proposed on all elevations of the house with an approximate 1' eave overhang. The hip roof would be a 4:12 pitch with 8:12 pitch gable roof. The residential design generally calls for a deeper eave, but shallower eaves have been approved. In balance, this guideline is met.

I. Section 14.025(J) identifies roofing materials encouraged.

1. All Building Types: a) Cedar shingle; b) Composition roofing; c) Roofing material in gray, brown, black, deep red, or other subdued colors.
2. Waterfront Industrial: a) Galvanized corrugated metal; b) Low profile standing seam, metal roof; c) Roll down.
3. Commercial: a) Built-up.

Section 14.025(K) identifies roofing materials discouraged.

1. All Building Types: a) High profile standing seam, metal roof; b) Brightly colored roofing material.

Finding: The roofing material proposed is architectural composition roof shingles. The proposed color is Sierra Gray which is a subdued color. This guideline is met.

J. Section 14.025(L) identifies signs encouraged.

1. All Building Types: a) Hanging blade signs; b) Signs painted on building facade; c) Signs applied to building facade; d) Front lit; e) Graphics historic in character.
2. Commercial: a) Exterior neon.

Section 14.025(M) identifies signs discouraged.

1. All Building Types: a) Pole mounted freestanding signs; b) Plastic or internal and back lit plastic.

Finding: No signs are proposed for the site. This guideline does not apply.

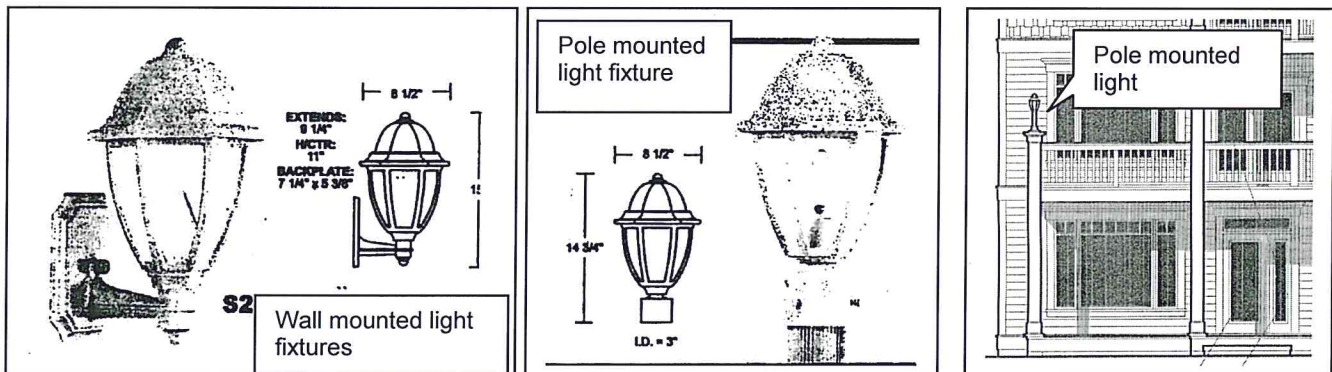
K. Section 14.025(N) identifies exterior lighting encouraged.

1. All Building Types: a) Decorative lighting integrated with architecture; b) Metal halide or incandescent; c) Pedestrian and traffic signals combined with street lamps; d) Light fixtures that direct light downward and eliminate glare.
2. Waterfront Industrial: a) Industrial pan light with goose neck; b) Low bollard lighting.
3. Commercial: a) Historic street lamps along walks and parking lots.

Section 14.025(O) identifies exterior lighting discouraged.

1. All Building Types: a) Sodium vapor (amber); b) Fluorescent tube; c) Cobra head street lamps or other contemporary fixtures; d) Fixtures with undiffused, undirected light that do not focus the light to the ground and that will potentially destroy the night sky view.

Finding: Exterior light fixtures are proposed on porches, at doors, and on both sides of garage door on rear. There is a light pole proposed for the front elevation next to the porches. Everstone lighting is noted and the fixtures shall have diffused lighting (Condition 3). The project light fixtures shall be chosen from the approved Mill Pond Village lighting list and shall not include any of the discouraged exterior lighting types. This guideline is met.



- L. Section 14.025(P) identifies other design elements encouraged.

1. Commercial: a) Canvas awnings or fixed canopies for rain protection.

Section 14.025(Q) identifies other design elements discouraged.

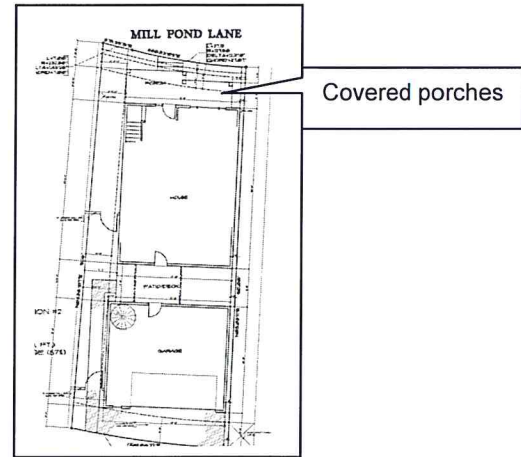
2. Commercial: a) Vinyl awnings; b) Back lit awnings.

Finding: No awnings or canopies are proposed for this structure. This guideline does not apply.

- M. Section 14.030(A)(1) concerning building orientation states that development projects should form visually continuous, pedestrian-oriented street fronts with

no vehicle use area between building faces and the street. Exceptions to this requirement may be allowed to form an outdoor space such as a plaza, courtyard, patio, or garden between a building and a sidewalk. Such a larger front yard area should have landscaping, low walls, fencing, railings, a tree canopy, or other site improvements.

Finding: The proposed project fronts onto Mill Pond Lane. The residential building is placed close to the sidewalk which creates an intimate relationship to the streetscape and surrounding development. The south rear elevation fronts on Steam Whistle Way. There are covered front porches on all three floors. This criteria is met.



- N. Section 14.030(A)(2) concerning building orientation states that new uses should be sited to take advantage of the Columbia River and hillside views.

Finding: The siting and design of the proposed project primarily takes advantage of the Columbia River view. This criteria is met.

- O. Section 14.030(A)(3) concerning building orientation states that if the proposed project is large or situated so as to become an entrance or major focus of the City, the design should recognize the project's prominence and should be both compatible with its surroundings and complementary to the City as a whole.

Finding: The proposed project is typical with most of the other residential buildings. It will be close in size to other houses at Mill Pond. The front of the structure may be visible from the City River Trail and will have a variety of form and texture similar to other structures in the residential areas of Astoria. Steam Whistle Way is the roadway that separates the residences from the larger commercial lots that front on Marine Drive. The proposed project will be compatible with its surroundings. This criteria is met.

- P. Section 14.030(B)(1) concerning building massing states that buildings should have a floor area ratio on their lots of at least 1:1 (One square foot of building area for one square foot of lot area), in order to maximize use of the land.

Finding: The lot area is approximately 3,200 square feet. The total square footage of the house including garage is approximately 3,982 square feet. The ratio is approximately 1:1 and meets the minimum floor ratio.

- Q. Section 14.030(B)(2) concerning building massing states that *"Buildings should be a minimum of 24 feet in height from grade to highest point of the structure,*

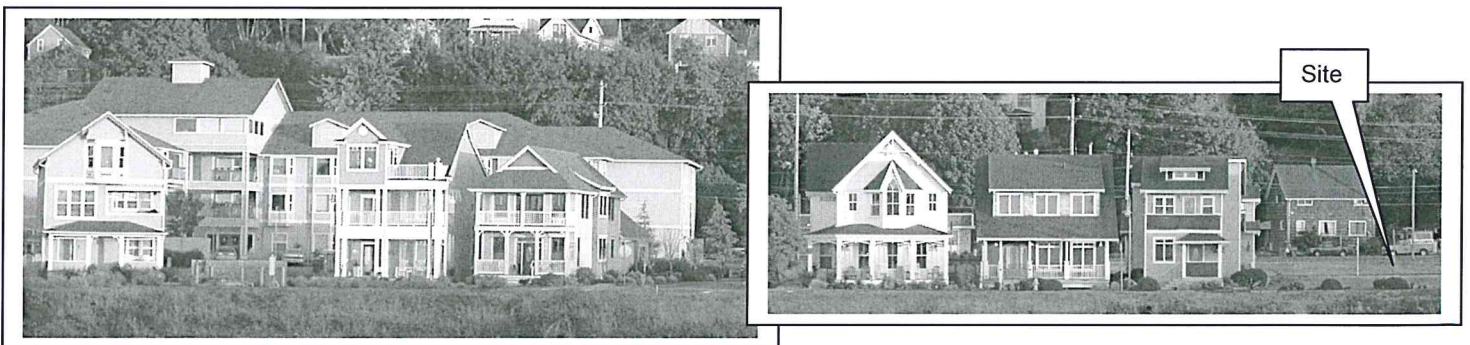
excluding those features exempt from building height as identified in Development Code Section 3.075.”

Section 14.335 concerning height in the AH-MP Zone states that *“No structure will exceed a height of 35 feet above grade, with exception of structures on lots with frontage on Marine Drive and on Lot 47 in Mill Pond Village Subdivision, having frontage on 29th and Waterfront Streets, which are limited to a maximum height of 45 feet above grade.”*

Finding: The structure measures approximately 35’ in height, measured from grade to the highest ridge of the structure. The Development Code calculates height to the midpoint between the eave and ridge of the highest roof and therefore the actual height of the building to relative this code is approximately 31.5’. This criteria is met.

- R. Section 14.030(B)(3) concerning building massing states that the height, mass, and scale of buildings should be compatible with the site and adjacent buildings. Use of materials should promote harmony with surrounding historic structures and the character of the waterfront.

Finding: There are one, two, and three story residential buildings in the Uppertown area. Buildings in Mill Pond Village include one, two, 2.5, and three story structures. The proposed structure is 3 stories. Structures in the Uppertown area have a mixture of wood, cement, and fiber cement siding. New residences in Mill Pond have a mixture of wood and fiber cement siding. The use of fiber cement horizontal, shingle, and board and batten siding materials is characteristic of and harmonious with the buildings in the surrounding area and the character of the waterfront.



The doors are proposed to be Therma-True, and windows are proposed to be vinyl with external muntins. The front of the structure would face Mill Pond Lane while the rear is on Steam Whistle Way which is the roadway that separates the residences from the larger commercial lots that front on Marine Drive. The proposed project will be compatible in mass with its surroundings. This criteria is met.

V. CONCLUSION AND RECOMMENDATION

The request meets the design objectives of the Design Review Guidelines. The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building codes permits.

Any change in design or material shall be submitted to the Community Development Department for review.

Staff recommends the Design Review Committee approve the proposal with the following conditions:

1. There shall be no encroachments into the required 6' side setback.
2. Windows and casings shall be installed so that the windows do not protrude beyond the casing; and so that the casing protrudes beyond the plane of the siding. Any windows with grids shall be true divided or shall have external grids.
3. Exterior light fixtures shall have diffused lighting.

CITY OF ASTORIA

APR 03 2014

CITY OF ASTORIA
1095 Duane Street, Astoria OR 97103
503-338-5183

BUILDING CODES

DR 14-03

Fee: \$250.00

DESIGN REVIEW

Property Location: Address: 2495 Mill Pond Lane

Lot/Block/Subdivision: lot 22 of Mill Pond Subdivision 2

OK

Map/Tax Lot: PCB 6845

Zone: AH-MP

Applicant Name: Patrick McGee Designs
Mailing Address: 697 34th Street /Astoria, Or 97103
Phone: 503.325-1844

Property Owner's Name: John Ryan

Mailing Address: 92401 Walluski Loop/Astoria, OR 97103

Business Name (if applicable):

Signature of Applicant:

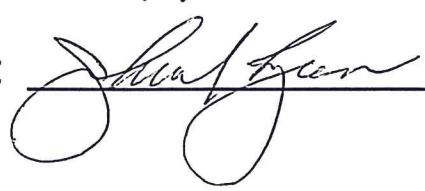


Date:

04-03-2014

Signature of Property Owner:

Date: 04-03-2014



Proposed Construction: 2 1/2 story, single family structure

to construct a ~~2.5~~³ story approx 3,982³ SFD
Labels 4/7/14 D-Base 4-7-14
DRC 5/1/14

Site Dimensions & Square Footage: 37'x90'; 3200sf

Building Square Footage: 1st Floor: 1026sf 2nd & 3rd Floor: 1026/739

Garage: 717sq /474 above garage

3,982 ~~4~~

Accessory Building Information: _____

FILING INFORMATION: The Design Review Committee meets on the first Thursday of the month, as needed depending on date of applications. Applications must be received a minimum of 30 days prior to the date a meeting can be scheduled. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Design Review Committee meeting is recommended.

Briefly address each of the Design Review Guidelines and state whether the project complies with the guideline, if applicable, and why this request should be approved. (Use additional sheets if necessary.):

1. Building Form.

Basic Shape: Rectangular

Porches - Design, Dimension, Features: Open with 3 columns; 14' x 8' and 11' x 6'

Balconies - Design, Dimension, Features: 2nd floor balcony mimics 1st floor with 2 columns/ 3rd floor balcony is under roof; 14' x 8' with 2 columns

Other: covered bridge from main structure to living space above garage

2. Windows.

Material: Milgard; Tuscan series__

Divided Windows (true divided, internal muntins, external muntins, etc) 2/1, 3/1, 6/1, 6 lite, 8 lite, round 4 lite, 84 lite and garden wdw

Operation (casement, single hung, etc.) mix of fixed and casement

Size & Material of Exterior Casings:

Other: _____

3. Exterior Wall Treatments.

Material & Dimensions of Siding: nominal 6" exposure; Hardi Plank Lap siding and Shingles. Board and Batton

Decorative Features: Corbels where appropriate/ Gable ornamental work above covered balcony/round windows each floor, front elevation

Other: _____

4. Doors.

Material & Design: Front entry; Thurma-tru, smooth star;#s118, 1lite(tempt) w/s601sl x 14" side lite & transom unit for 3.0" and 14" side lite. Balcony doors: Thurma-tru, smooth star/hinged patio door system. Secondary doors; Thurma-tru, smooth star # s206 with 1lite windows

Other: _____

5. Roof Elements.

Style of Roof: Mix of hip and gables

Material: Owens Corning laminate shingles; Oakridge;

Color: Sierra Gray

Decorative Features (eave brackets, etc): _____

6. **Garage.**

Garage Door Material & Design: Clopay or equal 20' x8' Mdl:

HDPL20. Steel insulated, raised panel

Window Material & Design: 5panel/ 8 lite tru divided

Roof Style & Material: Hip with gables. Owens Corning; Oak ridge
Sierra Gray

Other: _____

7. **Signs. N/A**

8. **Exterior Lighting.**

Fixture & Lamp Design: EverStone; s21sc-gy

Location: 1@ all 3 front exterior door/ 1@both rear doors

Other: EverStone; s21tc-sn post lantern on front elevation
column, 2nd story balcony as noted

9. **Other Design Elements.**

10. **Building Orientation.** Front Entry faces north/ Rear elevation
faces south

11. **Building Massing.**

Building to Lot Ratio: 67%

Other: _____

12. **Access and Parking Design.**

Number of Off-street Spaces: 2 car garage

Other: _____

13. **Landscaping.** Per Mill Pond Green Plan

14. Underground Utilities.

PLANS: A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used are required. Scaled free-hand drawings are acceptable. The City may be able to provide some technical assistance on your proposal if it is adjacent to a historic structure and will require additional review by the Historic Landmarks Commission.

If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.

WOODEN GABLE ORNAMENTS BY
EMPIRE WOODWORKS MODEL #GA-420
VERIFY QUANTITY & LOCATION



FRONT ENTRY:
THERMA-TRU, 'SMOOTH STAR'
#S118, 1-LITE (TEMP)
WITH S601SL X 14" SIDELITE
& TRANSOM UNIT FOR 3/0 DOOR AND 14"
SIDELITE

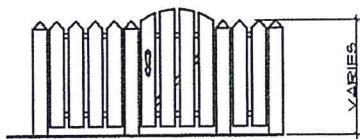
FRONT ELEV.

SCALE : 1/4" = 1'-0"

(NORTH)

DOORS TO UPPER DECKS:
THERMATRU, 'SMOOTH STAR' HINGED
PATIO DOOR SYSTEM
INSTALLED PER ALL CODES AND
SPECS. (TEMP)

MCGEE



SCREEN FENCE DETAIL

SCALE: 3/8" = 1'-0"

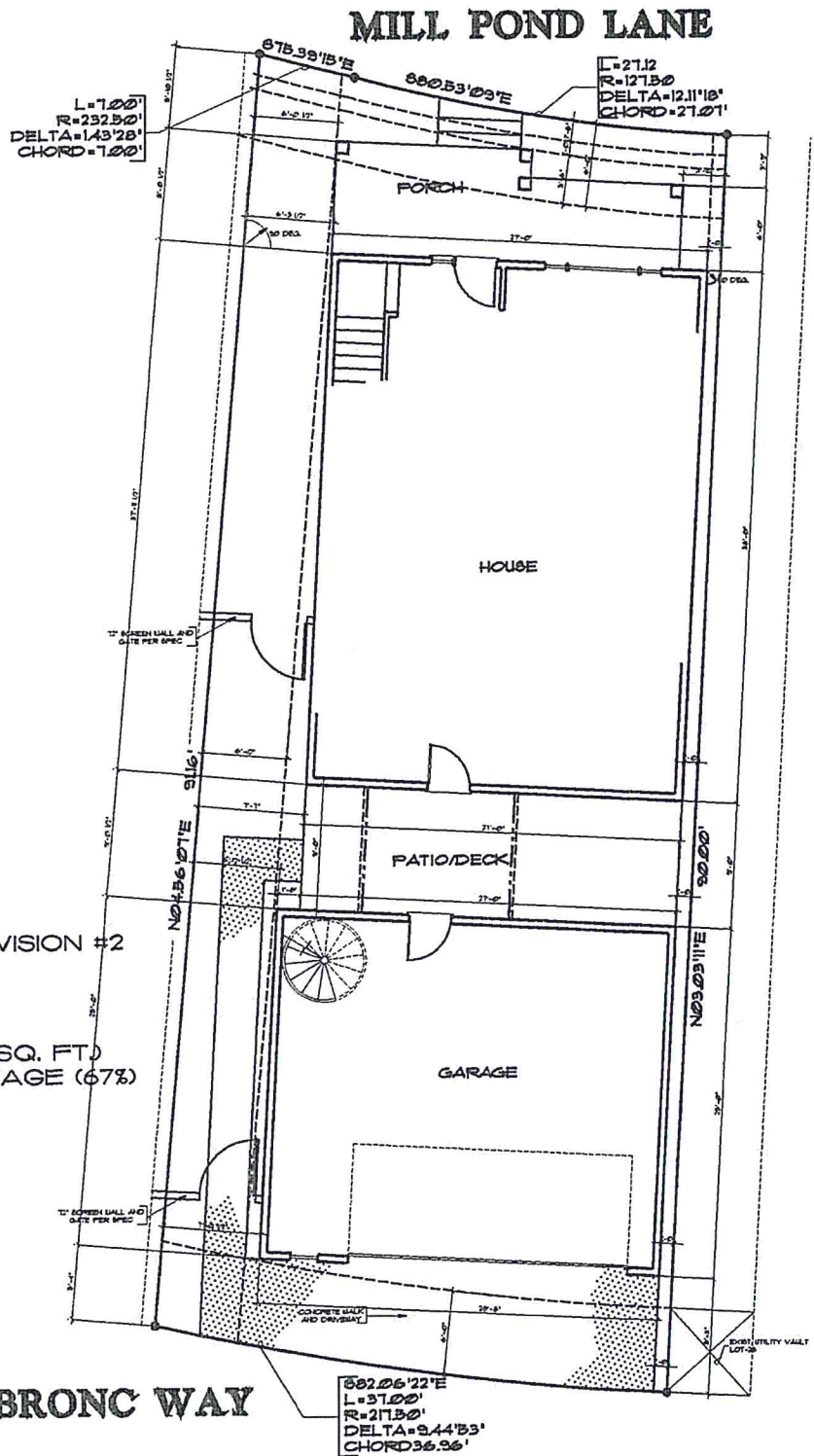
(OR AN APPROVED FENCE DETAIL
AUTHORIZED BY MILL POND VILLAGE
HOMEOWNERS ASSOCIATION)

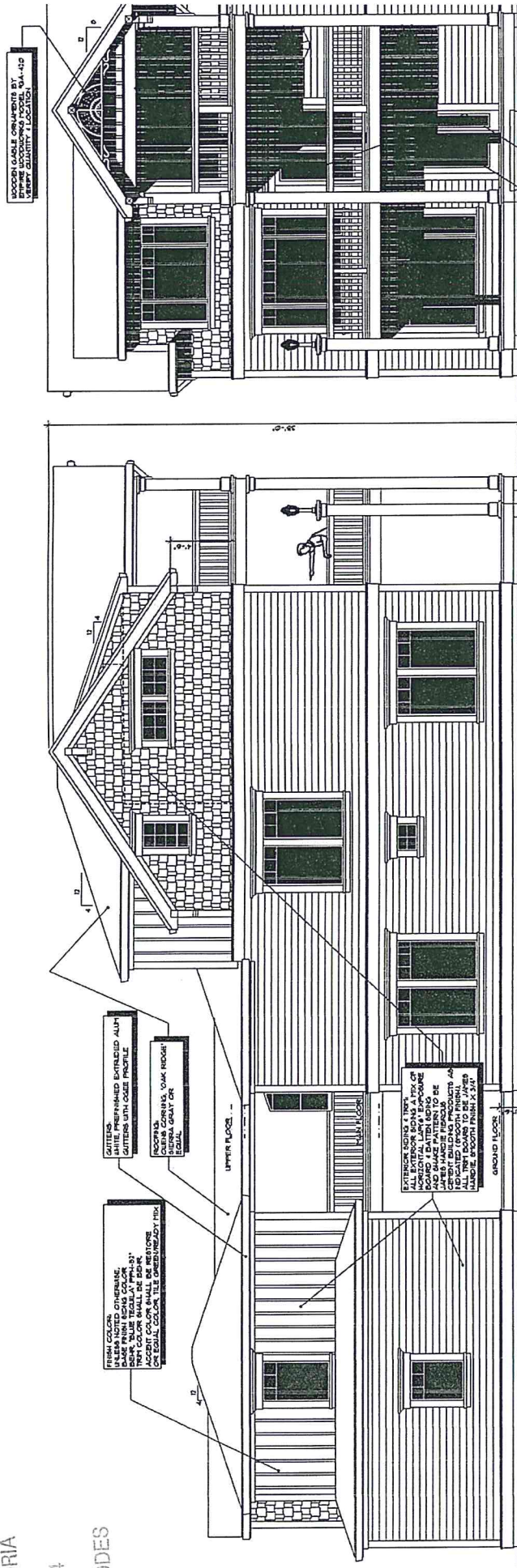
SITE PLAN



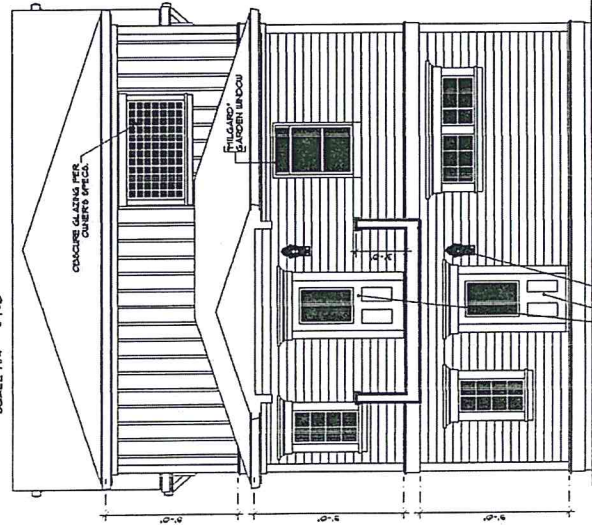
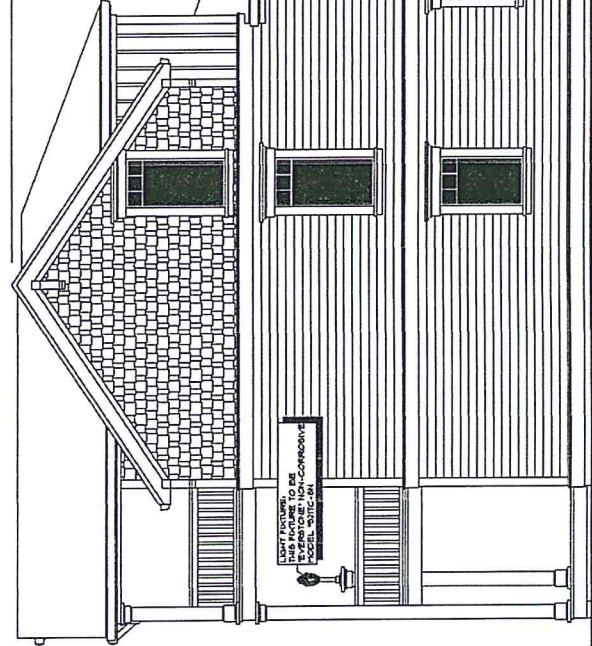
SCALE: 3/8" = 1'-0"

MILL POND VILLAGE SUBDIVISION #2
JOHN RYAN
LOT-22 (3200 SQ. FT.)
MILL POND LANE
BUILDING COVERAGE (2151 SQ. FT.)
LOT COVERAGE PERCENTAGE (67%)

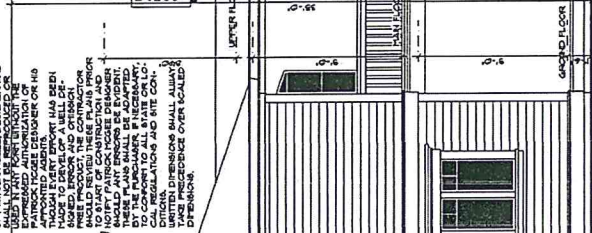




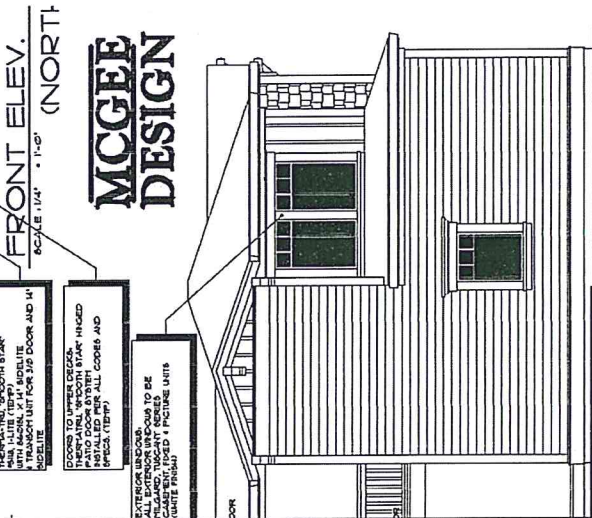
11.000 11.000

 $\text{AC-Al} = 1.4' = 1.72'$ 

SCALE 1 1/4" = 1'-0"



1



1710

THESE PLANS ARE THE PROPERTY OF PATRICK HOGUE DESIGNER AND WILL BE RETURNED TO HIM UPON REQUEST. NO REPRODUCTION OR USE IN ANY FORM WITHOUT THE EXPRESSED AUTHORIZATION OF PATRICK HOGUE DESIGNER OR HIS APPOINTED AGENTS.

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WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SAID DIMENSIONS.

FRONT ENTRY,
THERMA-TROL, SMOOTH STAR®
AQUA, I-LITE (TID-PP)
WITH 66-INCH. X 14" SIDELITE

DOORS TO UPPER DECK.
THERMATELL "SMOOTH STAR" WINGED
PATIO DOOR SYSTEM
INSTALLED PER ALL CODES AND
SPEC'S. (12-TP)

EXTERIOR WINDOWS.
ALL EXTERIOR WINDOWS TO BE
MILGARD, TUGNOT SERIES
CASSETT, FIXED & PICTURE UNITS
(UNIT PRICE)

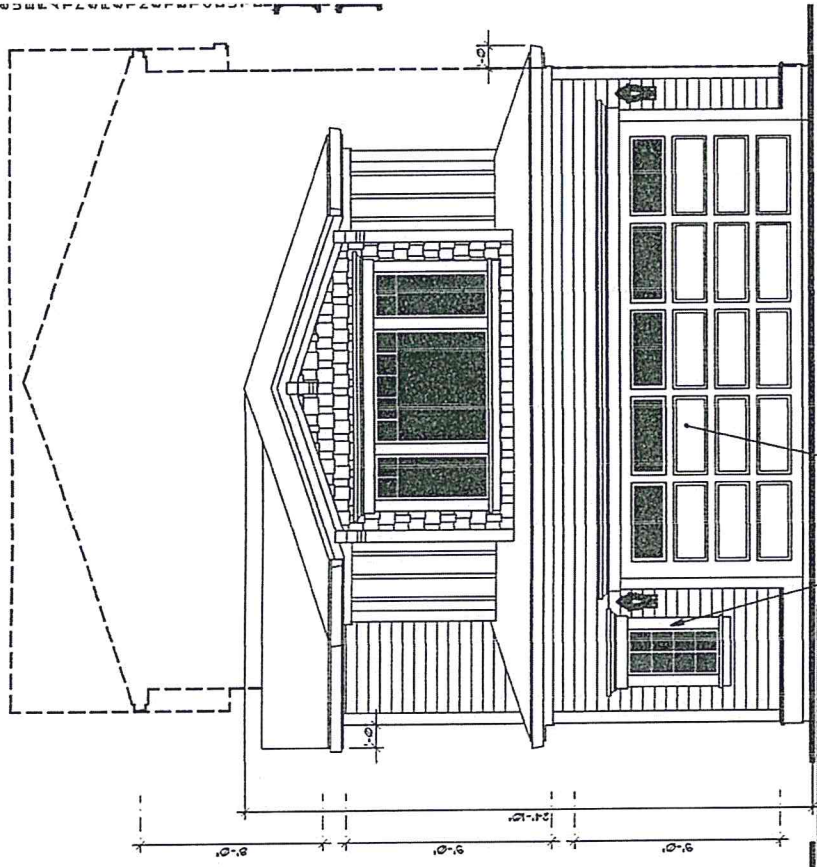
LIGHT FIXTURES:
UNLESS NOTED OTHERWISE ALL
EXTERIOR LIGHT FIXTURES SHALL
BE "EVERESTONE" NON-CORROSIVE
MODEL # 8218C-GY, WHERE SHOWN

SECONDARY ENTRY DOORS:
THERMA-TRU, "MOON STAR"
#3206 WHITE TRIM COLOR FINISH
UNLESS OTHERWISE NOTED

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697 34TH STREET/ASTORIA, OREGON 97103/ (503)325-1844/kcd.patrick@comcast.net
WEBSITE: <http://patrickmcgeedesigner.homestead.com>

DATE: 11/11/2011
TIME: 02:10

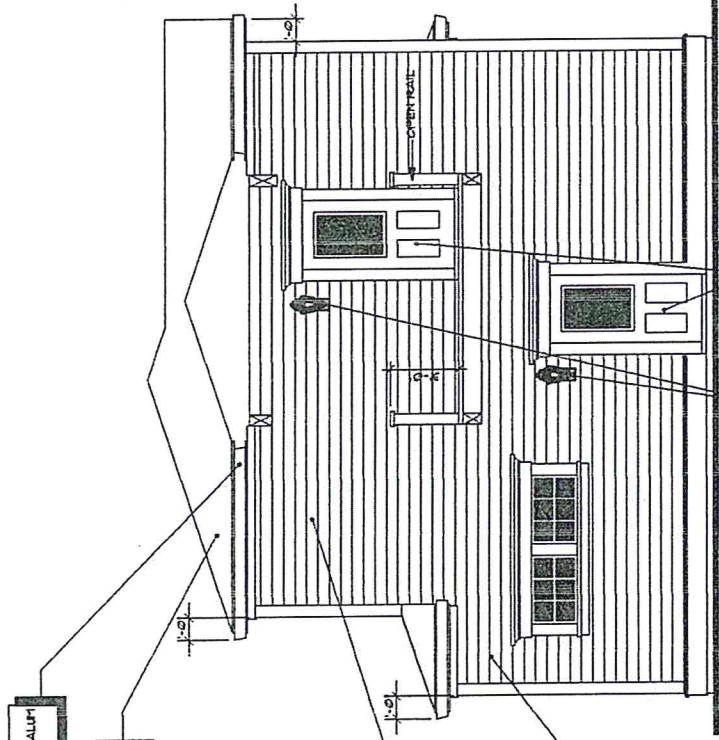
MCI61



GARAGE DOOR:
"CLOPAT" OR EQUAL 20' X 8'
MODEL #DPL-20-(WHITE)
GUTTER INSTALLED

EXTERIOR WINDOWS:
ALL EXTERIOR WINDOWS TO BE
MILGARD, TUSCANY SERIES
UNLESS OTHERWISE NOTED & PICTURE UNITS
(WHITE FINISH)

GARAGE ELEV. SOUTH
SCALE 1/4" = 1'-0"



SECONDARY ENTRY DOOR:
MILGARD, TUSCANY SERIES
#2026 WHITE TRIM COLOR FINISH
UNLESS OTHERWISE NOTED

LIGHT FIXTURES:
UNLESS OTHERWISE NOTED
EXTERIOR LIGHT FIXTURES SHALL
BE "EVERSTONE" NON-CORROSIVE
MODEL # 6318C-GT, WHERE SHOWN

GARAGE ELEV. NORTH
SCALE 1/4" = 1'-0"

GUTTERS:
GUTTERS FINISHED EXTENDED ALUM.
GUTTERS WITH CHIEF PROFILE

ROOFING:
ROOF CORNING, "OAK RIDGE"
SIERRA GRAY OR
EQUAL

FINISH COLOR:
UNLESS NOTED OTHERWISE,
BASE FINISH SIDING COLOR:
"SIERRA GRAY"
TRIM COLOR SHALL BE BEHR,
ACCENT COLOR SHALL BE RESTORE
OR EQUAL COLOR, TILE GREENREADY MIX

EXTERIOR SIDING & TRIM:
ALL EXTERIOR SIDING A MIX OF
HORIZONTAL LAP & "BOARD &
BATTEN" FINISH. SIDING
AND TRIM FINISH TO BE
JAMES HARDIE FIBROUS
CEMENT BUILDING PRODUCTS AS
INDICATED (8" BOARD FINISH).
ALL TRIM FINISH TO BE
HARDIE, SMOOTH FINISH X 3/4"

MC GEE
DESIGN

[illegible]

BUILDING CODES

CONSTRUCTION PATH	NO.1
OVER FLOOR	1376 SQ. FT.
MAIN FLOOR	1376 SQ. FT.
UPPER FLOOR	135 SQ. FT.
TOTAL	2788 SQ. FT.
REMARKS:	771 SQ. FT.
TUDING REQUEST:	474 SQ. FT.
REMARKS:	09-21-2015
DATE:	04-01-2014

MC1610

4



MAIN FLOOR PLAN

UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"